

Agenda Item 4 (Legislative Hearing)

Land Development Code Text Amendment

DEV2015-019

Midtown Redevelopment District Use Tables

STAFF REPORT

DATE: February 11, 2015

TO: Planning Board Members

FROM: Reed Berger, Redevelopment Director

PROJECT REQUEST

An administrative request by the Development and Administrative Services Department, Redevelopment Division, to amend the Land Development Code (LDC), Article 5: Use Standards, Section 5.2 Principal Uses, Subsection 5.2.A Principal Use Tables 5.2.A.3 Principal Use Table for Redevelopment Districts to be consistent with the goals and objectives of the Midtown Redevelopment Plan and Comprehensive Plan.

BACKGROUND

On December 18, 2014 the Planning Board voted 7-0 to recommend City Commission approval to rezone the entire Midtown Redevelopment area (DEV2013-097). The Planning Board's action set the stage for sequencing the rezoning concurrent with the anticipated approval of the new LDC in the first quarter of 2015 that included a new set of zoning districts for the Midtown Redevelopment area. On January 21, 2015 the City Commission adopted the new LDC which is to take effect on March 1, 2015.

During a review of the final LDC to prepare for the rezoning action staff discovered errors and omissions in the use tables for the Midtown Redevelopment zoning districts. The rezoning process has been delayed until a text amendment is approved that corrects the use tables.

Please refer to the staff report dated February 5, 2015 (Exhibit A) and board meeting minutes (Exhibit B) for the Midtown Redevelopment Area Board meeting held on February 10, 2015. The Redevelopment Board voted 9-0 to recommend approval of the text amendment request.

RECOMMENDATION

The Midtown Redevelopment Board recommends approval of the text amendment. Staff supports the Board's recommendation.

The text amendment request is tentatively scheduled for the April 1, 2015 (1st Reading) and April 15, 2015 (2nd Reading – Public Hearing) City Commission meetings. An affirmative vote of six by the Planning Board shall be required to recommend approval to the City Commission.

Land Development Code Text Amendment
DEV2015-019
Amending the Midtown Redevelopment District Use Tables

STAFF REPORT

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PROJECT DESCRIPTION

Staff is seeking approval of an amendment to the LDC that will correct errors and omissions related to the Midtown Redevelopment zoning district use tables that were included in the new LDC that becomes effective on March 1, 2015. The proposed amendment would revise the use tables so that the uses are consistent with the goals and objectives of the Midtown Redevelopment Plan and Comprehensive Plan.

PROPOSED LDC TEXT CHANGE

The following proposed amendment to Article 5: Use Standards, Section 5.2 Principal Uses, Subsection 5.2.A Principal Use Tables 5.2.A.3 Principal Use Table for Redevelopment Districts of the LDC will correct errors and omissions related to the Midtown Redevelopment zoning district use tables (*Attachment A*). Also attached are the Midtown Redevelopment zoning district use standards in Article 4 that correspond to the Midtown uses.

PROJECT ANALYSIS

The Land Development Code may be amended subject to certain criteria outlined in Article 4, Section 2.3. The following questions serve as guidelines in determining a recommendation:

- a) **Has there been a change in conditions since the current zoning designation or regulations were adopted? Have major land uses or conditions changed since the adoption?**

The Comprehensive Plan was amended in 2014 to establish future land uses in the Midtown Redevelopment Area consistent with the Midtown Master Plan. The Midtown Redevelopment Board and Planning Board both recommended to the City Commission approval of rezoning all properties located within the Midtown Redevelopment Area to be consistent with the Comprehensive Plan and the new Midtown Redevelopment zoning districts that were created as a part of the new LDC that becomes effective on March 1, 2015.

Prior to initiating the final step to seek City Commission approval of the rezoning a review of the new LDC identified omissions and errors with respect to what uses were permitted within each of the six use tables, and in particular the omission of uses that should be permitted in the RDM-5 (Commercial Transitional) zoning district.

b) Is the amendment compatible with existing development patterns?

The proposed LDC text amendment is not compatible with existing development patterns because the Midtown Master Plan is intended to change development patterns in the following manner.

1. Increase densities along major street corridors.
2. Eliminate those uses that are not compatible with, or conflict with, the preservation and protection of residential neighborhoods.
3. Promote pedestrian safety and connectivity.
4. Limit auto-related uses and drive-thru facilities.
5. Encourage the growth of Bethune Cookman University (BCU) in balance with the growth of Midtown neighborhoods.

A major change will be the transition from the Business Automotive (BA) zoning classification and uses along International Speedway Boulevard to mixed use development of retail, office, and residential that serves the needs of neighborhood residents and businesses, visitors, and the nearby educational institutions.

c) Will the amendment adversely affect traffic patterns or congestion?

The amendment is not anticipated to have a negative effect on traffic patterns or congestion. To the contrary, the urban form in the new LDC will discourage commercial driveways and drive-thru facilities that contribute to auto and pedestrian conflicts.

d) Will the amendment adversely impact population density or development intensity such that the demand for utilities, transportation facilities, recreational areas and facilities, schools, and other public facilities and services is adversely affected?

The densities in the newly adopted LDC were considered as part of the review of the recent Comprehensive Plan amendment for the Midtown Redevelopment Area by State agencies and other agencies that consider if the changes would adversely affect demand for utilities, transportation facilities, recreational areas and facilities, schools, and other public facilities. All agencies either approved or did not comment on the proposed changes.

e) What effect will the amendment have on the health, safety, and welfare of the neighborhood? Of the city?

The amendment is anticipated to have a positive effect on the health, safety, or welfare of the neighborhoods in and around the Midtown Redevelopment Area and will improve the appearance and vitality of several of the City's important commercial corridors.

RECOMMENDATION

Staff recommends approval of the amendment request by the Midtown Redevelopment Board. The text amendment request is tentatively scheduled for the February 26th Planning Board meeting.

U. REDEVELOPMENT MIDTOWN – MIDTOWN CENTER MIXED USE (RDM-1)

1. PURPOSE

The purpose of the Redevelopment Midtown – Midtown Center Mixed Use (RDM-1) district is to encourage land assembly for mixed-use development centered at the intersection of International Speedway Boulevard and Dr. Martin Luther King, Jr. Boulevard that creates a vibrant urban center in the heart of Midtown. The Midtown Center is intended to include a public square and enhance pedestrian circulation between residential and commercial uses, Bethune Cookman University, and public facilities, and to encourage the creation of plazas and pedestrian linkages. Residential uses are encouraged on the upper floors of nonresidential establishments.

2. USE STANDARDS

See use tables and use-specific standards in Article 5 and any modified use standards for any overlay districts (Section 4.9), subject to the modifications in Section 4.7.U. 5, Modified Use Standards.

3. INTENSITY AND DIMENSIONAL STANDARDS¹

	MIXED-USE AND NONRESIDENTIAL	MULTIFAMILY RESIDENTIAL
Lot area, minimum	6,000 sf	1,250 sf
Lot width, minimum	24 ft	24 ft
Lot depth, minimum	n/a	n/a
Density, maximum	40 du/ac	40 du/ac
Floor area ratio (FAR), maximum	3.0	3.0
Lot coverage, maximum (% of lot area)	80%	70%
Structure height, maximum	5.5 stories	5.5 stories
Front yard setback, minimum	10 ft	10 ft
Front yard setback, maximum	25 ft	25 ft
Street side yard setback, minimum	15 ft	15 ft
Interior side yard setback, minimum	5 ft	5 ft
Rear yard setback, minimum	10 ft	10 ft
Accessory structure coverage, maximum (% of principal structure(s) coverage)	35%	35%
Accessory structure setback from lot line, minimum ²	Floor area ≤ 600 sf	10 ft
	Floor area > 600 sf	Same as for principal structure

NOTES: [sf = square feet; ft = feet; du/ac = dwelling units/acre]

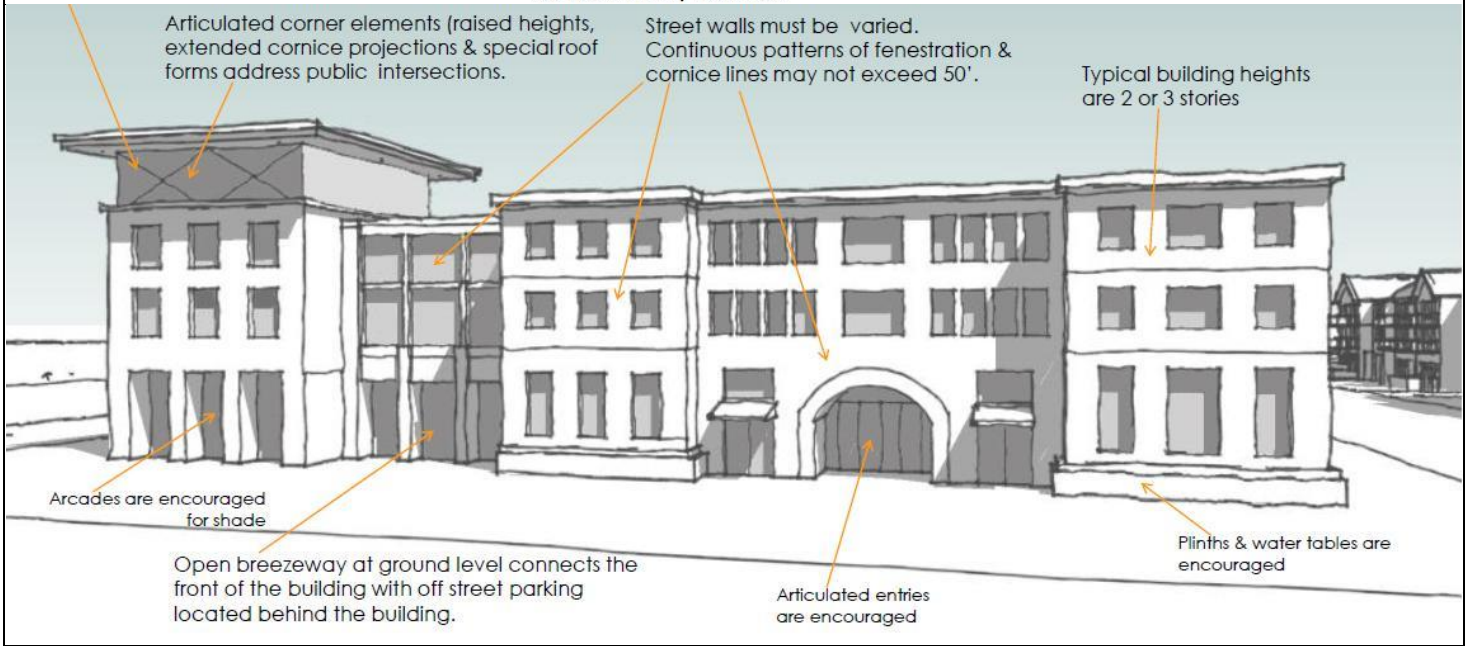
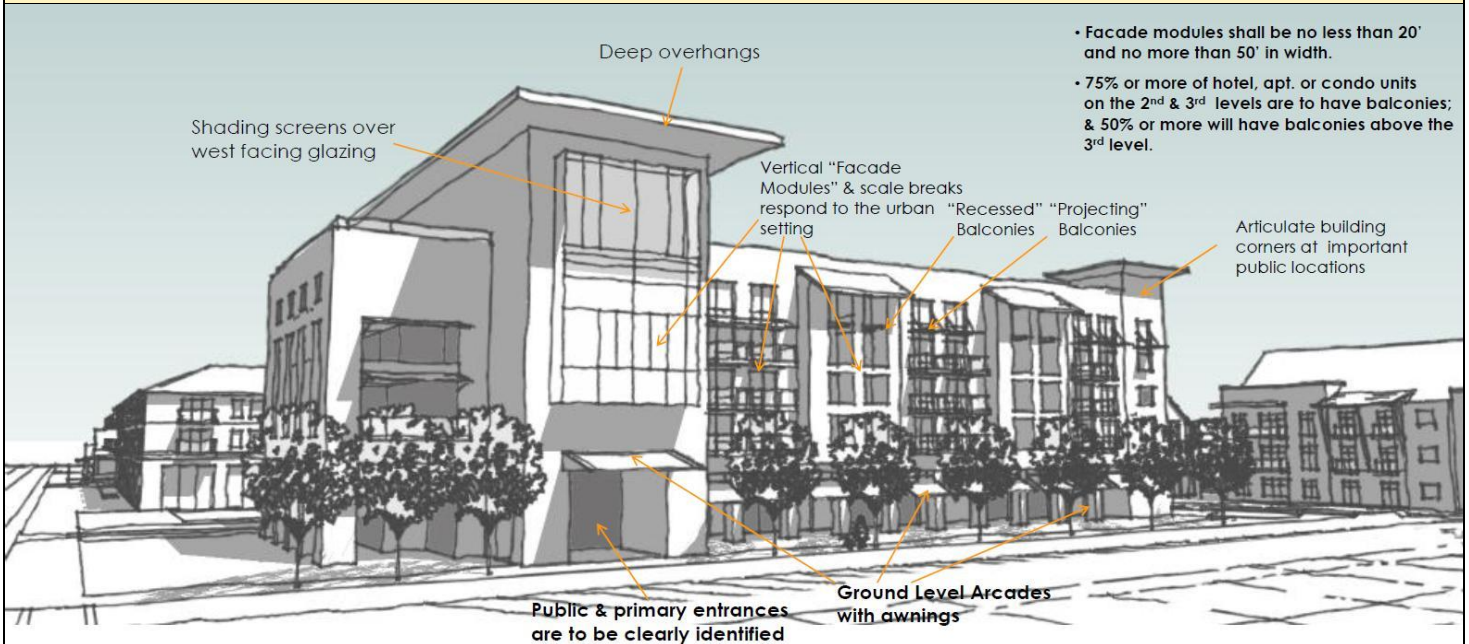
1. See measurement rules and allowed exceptions/variations in Section 11.4, Measurement, Exceptions, and Variations of Intensity and Dimensional Standards.

2. A garage shall be located to the rear of the rear facade of the principal structure(s).

4. DEVELOPMENT STANDARDS

See development standards in Article 6 and any modified development standards for any overlay districts (Section 4.9).

DESIGN GUIDELINE ILLUSTRATION





5. MODIFIED USE STANDARDS

The following standards shall apply to development within the Redevelopment Midtown – Midtown Center Mixed Use (RDM-1) district in addition to the generally-applicable use-specific standards in Article 5: Use Standards.

a. Child Care (as an accessory use)

Child care is allowed as an accessory use only to an office use.

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V. REDEVELOPMENT MIDTOWN – NEIGHBORHOOD CENTER MIXED USE (RDM-2)

1. PURPOSE

The purpose of the Redevelopment Midtown – Neighborhood Center Mixed Use (RDM-1) district is to encourage the development of several neighborhood centers that will accommodate a compact mix of residential and small-scale, low-intensity retail and service uses that are convenient to the immediately surrounding neighborhood and consistent with neighborhood scale and architectural character of an urban mixed use district.

2. USE STANDARDS

See use tables and use-specific standards in Article 5 and any modified use standards for any overlay districts (Section 4.9), subject to the modifications in Section 4.7.V.5, Modified Use Standards.

3. INTENSITY AND DIMENSIONAL STANDARDS ¹

	SINGLE-FAMILY RESIDENTIAL	MIXED-USE AND NONRESIDENTIAL	MULTIFAMILY RESIDENTIAL
Lot area, minimum	4,500 sf	n/a	n/a
Lot width, minimum	40 ft	24 ft	n/a
Lot depth, minimum	n/a	n/a	n/a
Density, maximum	can/a	40 du/ac	n/a
Floor area ratio (FAR), maximum	n/a	3.0	3.0
Lot coverage, maximum (% of lot area)	Lot area < 0.5 acre	90%	80%
	Lot area ≥ 0.5 acre	75%	70%
Structure height, maximum	2.5 stories	3.5 stories	3.5 stories
Front yard setback, minimum	10 ft	10 ft	10 ft
Front yard setback, maximum	20 ft	20 ft	20 ft
Street side yard setback, minimum	10 ft	15 ft	15 ft
Interior side yard setback, minimum	5 ft	5 ft	5 ft
Rear yard setback, minimum	5 ft	5 ft	5 ft

NOTES: [sf = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Section 11.4, Measurement, Exceptions, and Variations of Intensity and Dimensional Standards.

4. DEVELOPMENT STANDARDS

See development standards in Article 6 and any modified development standards for any overlay districts (Section 4.9).

DESIGN GUIDELINE ILLUSTRATION

Street walls must be varied. Continuous patterns of fenestration & cornice / roof lines may not exceed 40'.

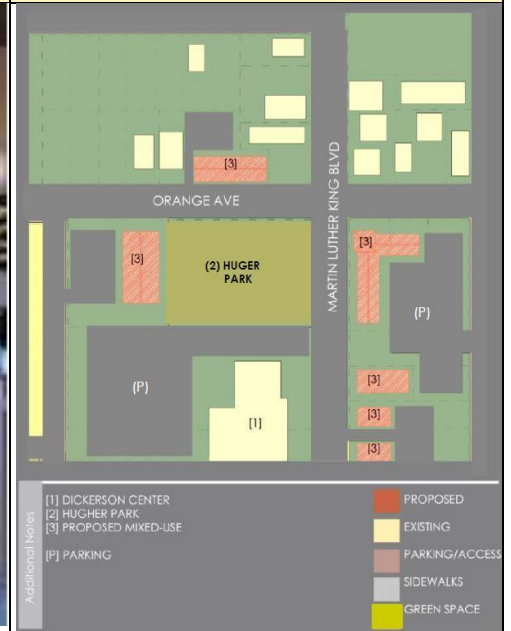
Balconies are required on upper levels. Balconies must be a minimum of 6' deep. "Double French Door balconies" may be 2' deep. Refer to Dimensional Standards on next page for balcony location % requirements.

Dormers in occupied attics (1/2 stories) are encouraged



TYPICAL BUILDING TYPE

TYPICAL LOT PATTERN



5. MODIFIED USE STANDARDS

The following standards shall apply to development within the Redevelopment Midtown – Neighborhood Center Mixed Use (RDM-2) district in addition to the generally-applicable use-specific standards in Article 5: Use Standards.

a. Medical or Dental Clinic/Office

A medical or dental clinic/office shall be located only above the ground floor of a building.

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W. REDEVELOPMENT MIDTOWN – ACTIVITY CENTER MIXED USE (RDM-3)

1. PURPOSE

The purpose of the Redevelopment Midtown – Activity Center Mixed Use (RDM-3) district is to provide for a mix of medium- and large-scale commercial uses and public gathering spaces that capitalize on the high-volume traffic at the corner of Nova Road and International Speedway Boulevard and in close proximity to college campuses. Residential uses are encouraged on the upper floors of nonresidential establishments.

2. USE STANDARDS

See use tables and use-specific standards in Article 5 and any modified use standards for any overlay districts (Section 4.9).

3. INTENSITY AND DIMENSIONAL STANDARDS¹

	MIXED USE AND NONRESIDENTIAL
Lot area, minimum	10,000 sf
Lot width, minimum	n/a
Lot depth, minimum	n/a
Density, maximum	40 du/ac
Floor area ratio (FAR), maximum	3.0
Lot coverage, maximum (% of lot area)	60%
Structure height, maximum	4 stories
Front yard setback, minimum	15 ft
Front yard setback, maximum	35 ft
Street side yard setback, minimum	20 ft
Interior side yard setback, minimum	10 ft
Rear yard setback, minimum	15 ft

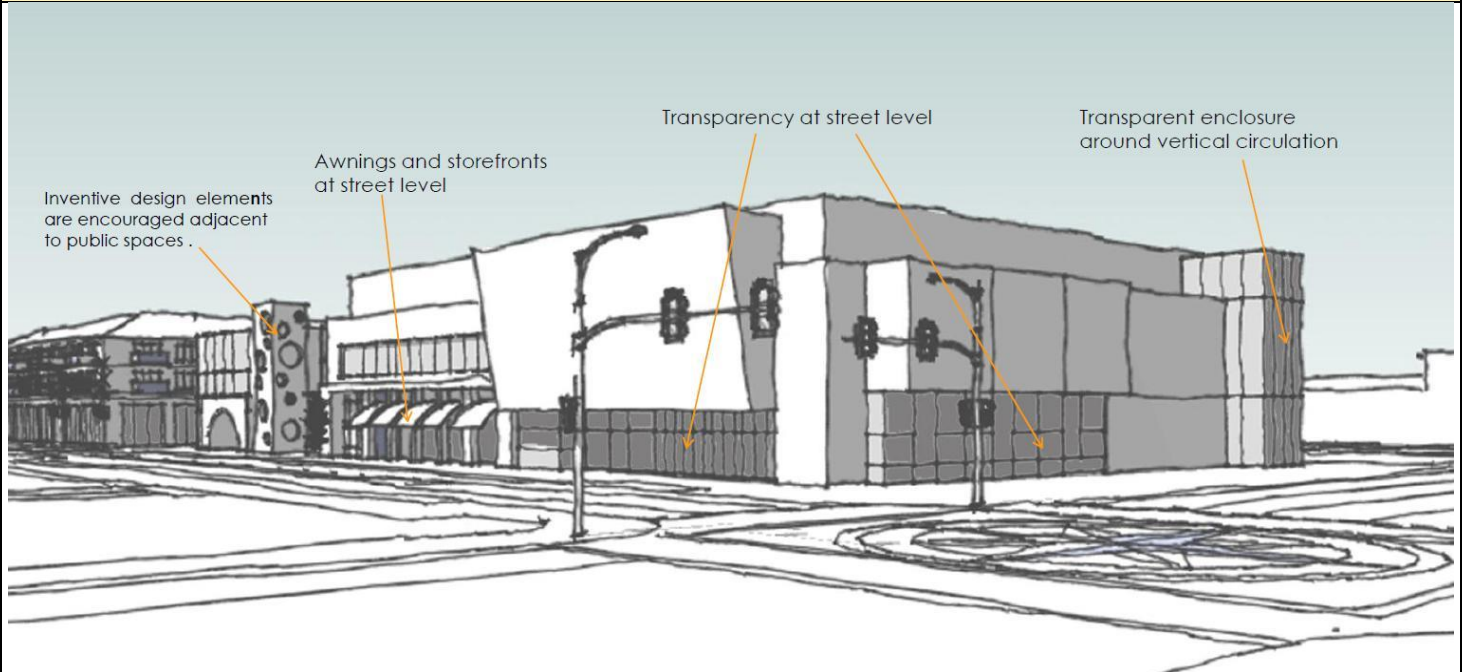
NOTES: [sf = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Section 11.4, Measurement, Exceptions, and Variations of Intensity and Dimensional Standards.

4. DEVELOPMENT STANDARDS

See development standards in Article 6 and any modified development standards for any overlay districts (Section 4.9).

DESIGN GUIDELINE ILLUSTRATION



TYPICAL BUILDING TYPE



TYPICAL LOT PATTERN



X. REDEVELOPMENT MIDTOWN – UNIVERSITY TRANSITION (RDM-4)

1. PURPOSE

The purpose of the Redevelopment Midtown – University Transition (RDM-4) district is to provide for major institutional, education, and small-scale, low-intensity retail and service uses that support and complement Bethune Cookman University and accommodates the growth of the BCU campus. Residential uses are encouraged on the upper floors of nonresidential establishments.

2. USE STANDARDS

See use tables and use-specific standards in Article 5 and any modified use standards for any overlay districts (Section 4.9).

3. INTENSITY AND DIMENSIONAL STANDARDS¹

		SINGLE-FAMILY RESIDENTIAL	MIXED USE AND NONRESIDENTIAL	MULTIFAMILY RESIDENTIAL
Lot area, minimum		n/a	n/a	n/a
Lot width, minimum		40 ft	50 ft	n/a
Lot depth, minimum		n/a	n/a	n/a
Density, maximum		can/a	40 du/ac	40 du/ac
Floor area ratio (FAR), maximum		n/a	3.0	3.0
Lot coverage, maximum (% of lot area)	Lot area < 10,000 sf	60%	90%	90%
	Lot area ≥ 10,000 sf		80%	75%
Structure height, maximum		2.5 stories	4.5 stories	4.5 stories
Front yard setback, minimum		10 ft	10 ft	10 ft
Front yard setback, maximum		20 ft	20 ft	20 ft
Street side yard setback, minimum		20 ft	20 ft	20 ft
Interior side yard setback, minimum		5 ft	5 ft	5 ft
Rear yard setback, minimum		10 ft	10 ft	10 ft

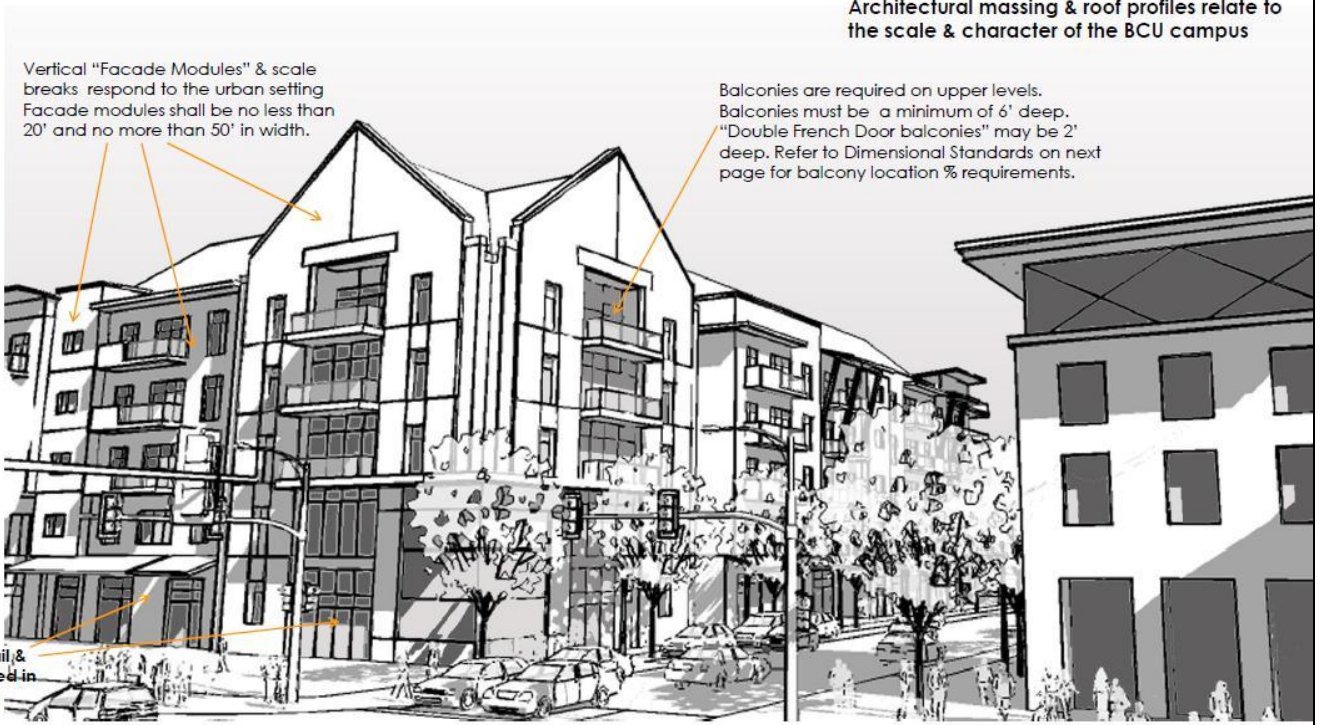
NOTES: [sf = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Section 11.4, Measurement, Exceptions, and Variations of Intensity and Dimensional Standards.

4. DEVELOPMENT STANDARDS

See development standards in Article 6 and any modified development standards for any overlay districts (Section 4.9).

DESIGN GUIDELINE ILLUSTRATION



TYPICAL BUILDING TYPE

TYPICAL LOT PATTERN

[placeholder]



Y. REDEVELOPMENT MIDTOWN – NEIGHBORHOOD TRANSITION MIXED USE (RDM-5)

1. PURPOSE

The purpose of the Redevelopment Midtown – Neighborhood Transition Mixed Use (RDM-5) district is to provide a mix of residential, institutional, and small-scale, low-intensity, and “convenience” retail and service uses for the surrounding neighborhoods. The district serves as a transition between residential areas that abut a primary or secondary street. Residential uses are encouraged on the upper floors of nonresidential establishments.

2. USE STANDARDS

See use tables and use-specific standards in Article 5 and any modified use standards for any overlay districts (Section 4.9).

3. INTENSITY AND DIMENSIONAL STANDARDS ¹

	SINGLE-FAMILY RESIDENTIAL	MIXED USE AND NONRESIDENTIAL	MULTIFAMILY RESIDENTIAL
Lot area, minimum	5,000 sf	5,000 sf	5,000sf
Lot width, minimum	n/a	n/a	n/a
Lot depth, minimum	n/a	n/a	n/a
Density, maximum	n/a	20 du/ac	20 du/ac
Floor area ratio (FAR), maximum	n/a	1.0	1.0
Lot coverage, maximum (% of lot area)	60%	70%	70%
Structure height, maximum	2.5 stories	3.5 stories	3.5 stories
Front yard setback, minimum	10 ft	10 ft	10 ft
Front yard setback, maximum	20 ft	20 ft	20 ft
Street side yard setback, minimum	2 ft	20 ft	20 ft
Interior side yard setback, minimum	5 ft	5 ft	5 ft
Rear yard setback, minimum	10 ft	15 ft	15 ft
Accessory structure coverage, maximum (% of principal structure(s) coverage)	35%	35%	35%
Accessory structure setback from lot line, minimum ²	Floor area ≤ 600 sf	5 ft	5 ft
	Floor area > 600 sf	Same as for principal structure	

NOTES: [sf = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Section 11.4, Measurement, Exceptions, and Variations of Intensity and Dimensional Standards.

2. A garage shall be located to the rear of the rear facade of the principal structure(s).

4. DEVELOPMENT STANDARDS

See development standards in Article 6 and any modified development standards for any overlay districts (Section 4.9).

DESIGN GUIDELINE ILLUSTRATION



Typical Building Type



A. REDEVELOPMENT MIDTOWN – RESIDENTIAL PRESERVATION (RDM-6)

1. PURPOSE

The purpose of the Redevelopment Midtown – Residential Preservation (RDM-6) district is to preserve the historic residential use and small-scale character of the areas and encourage the infill of compatible residential buildings. A mix of residential building types is encouraged.

2. USE STANDARDS

See use tables and use-specific standards in Article 5 and any modified use standards for any overlay districts (Section 4.9).

3. INTENSITY AND DIMENSIONAL STANDARDS ¹

	SINGLE-FAMILY RESIDENTIAL	OTHER RESIDENTIAL DEVELOPMENT
Lot area, minimum	5,000 sf	5,000 sf
Lot width, minimum	50 ft	50 ft
Lot depth, minimum	n/a	n/a
Density, maximum	n/a	8 du/ac
Floor area ratio (FAR), maximum	n/a	n/a
Living area per dwelling unit, minimum	n/a	n/a
Lot coverage, maximum (% of lot area)	35%	35%
Structure height, maximum	35 ft	35 ft
Front yard setback, minimum	15 ft	15 ft
Street side yard setback, minimum	5 ft	5 ft
Interior side yard setback, minimum	5 ft	5 ft
Rear yard setback, minimum	25 ft	25 ft
Spacing between principal structures, minimum	n/a	n/a
Accessory structure coverage, maximum (% of principal structure(s) coverage)	35%	35%
Accessory structure setback from lot line, minimum ²	Floor area ≤ 600 sf	2.5 ft
	Floor area > 600 sf	Same as for principal structure

NOTES: [sf = square feet; ft = feet; du/ac = dwelling units/acre]

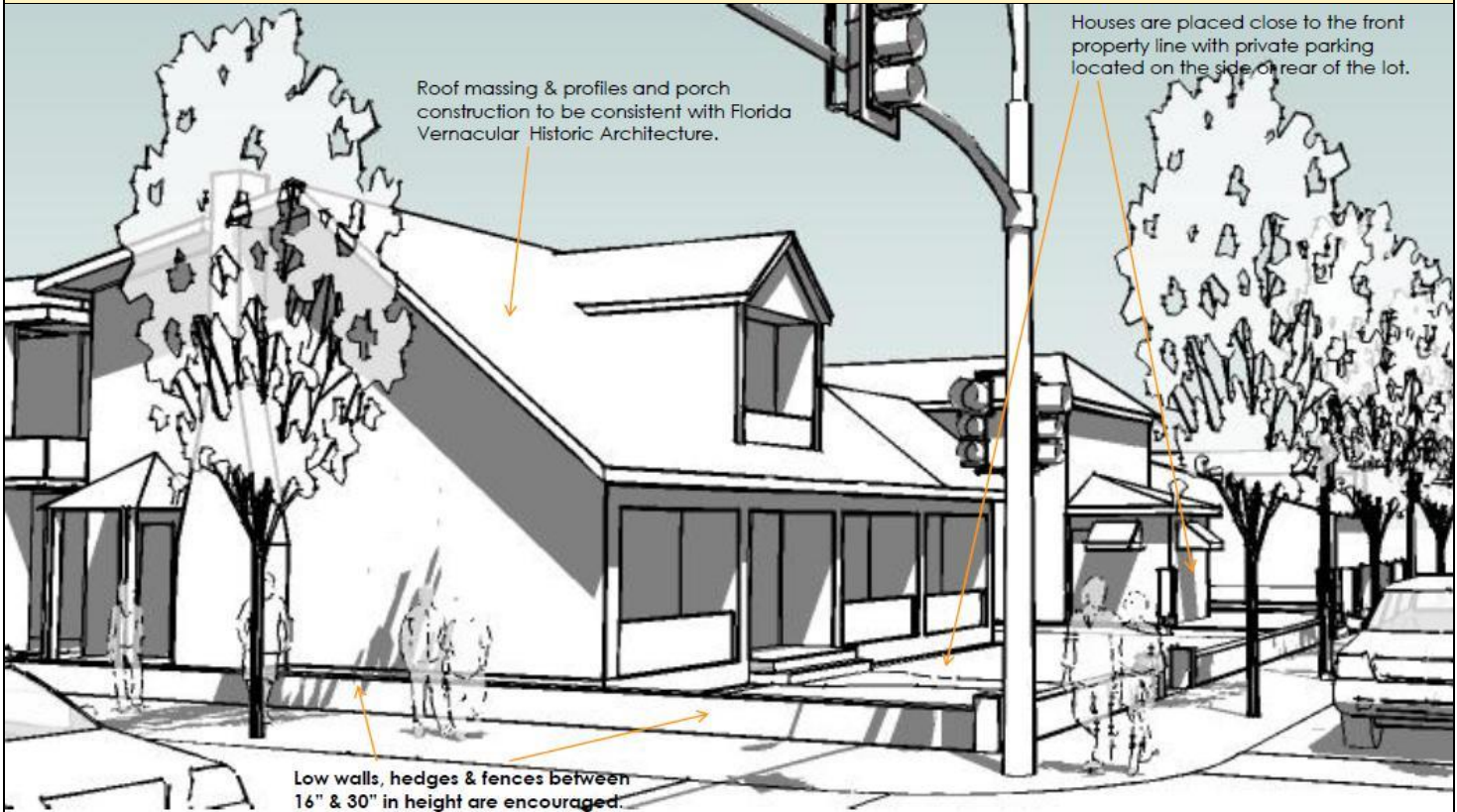
1. See measurement rules and allowed exceptions/variations in Section 11.4, Measurement, Exceptions, and Variations of Intensity and Dimensional Standards.

2. A garage shall be located to the rear of the rear facade of the principal structure(s).

4. DEVELOPMENT STANDARDS

See development standards in Article 6 and any modified development standards for any overlay districts (Section 4.9).

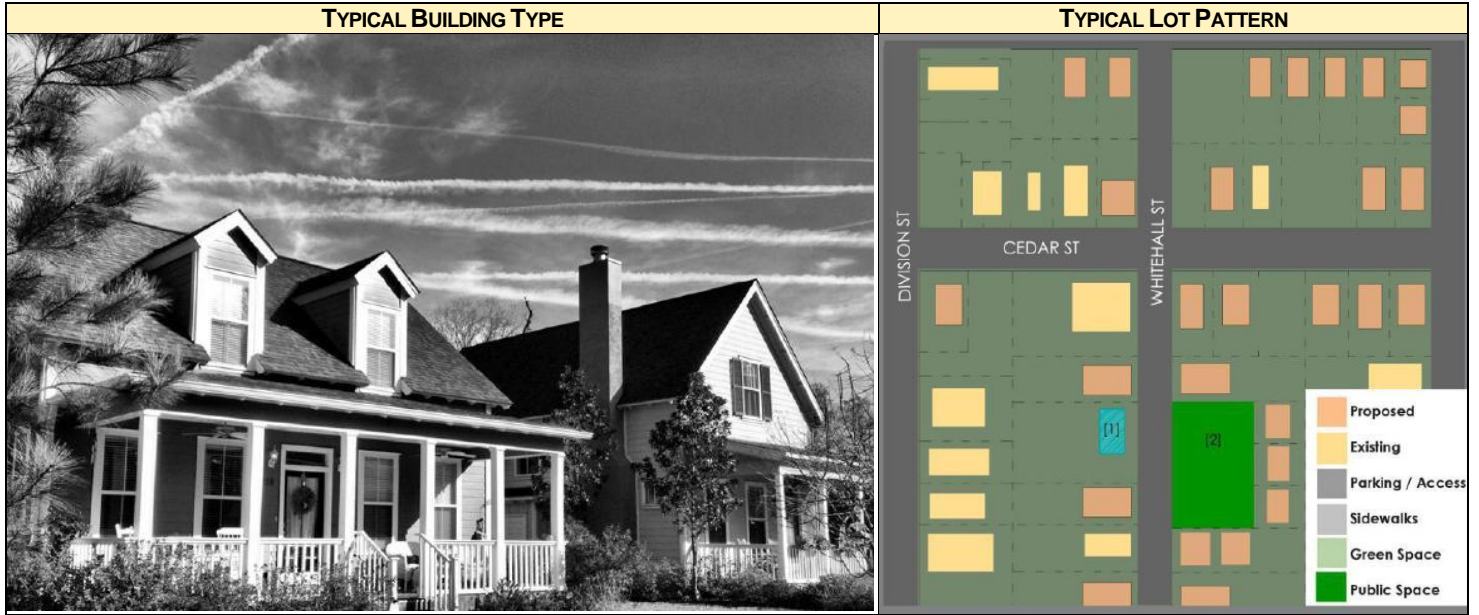
DESIGN GUIDELINE ILLUSTRATION



1. Attic stories are encouraged.
2. Dormers must have operable windows and be located in occupied spaces.
3. Fireplaces & chimneys are encouraged.
4. In private buildings, 1st floor elevations are to be raised 24" to 36" above grade.
5. Window & column bay proportions shall emphasize the vertical dimension. Vertical dimensions will be equal to or greater than the horizontal dimension.
6. Window & door shutters are to be operable & proportioned to match the opening.



Article 4: Zoning Districts
Section 4.7 Redevelopment Base Zoning Districts
Subsection 4.7.A Redevelopment Midtown – Residential Preservation (RDM-6)



3. PRINCIPAL USE TABLE FOR REDEVELOPMENT DISTRICTS

TABLE 5.2.A.3: PRINCIPAL USE TABLE FOR REDEVELOPMENT DISTRICTS

P = PERMITTED BY RIGHT S = ALLOWED WITH A SPECIAL USE PERMIT PS = ALLOWED WITH A PUBLIC OR SEMIPUBLIC USE PERMIT BLANK CELL = PROHIBITED USE

USE CATEGORY	USE TYPE	RDB-1	RDB-2	RDB-3	RDB-4	RDB-5	RDB-6	RDB-7	RDB-8	RDB-9	RDB-10	RDB-11	RDD-1	RDD-2	RDD-3	RDD-4	RDD-5	RDD-6	RDD-7	RDM-1	RDM-2	RDM-3	RDM-4	RDM-5	RDM-6	
AGRICULTURAL USES																										
Agriculture	Farming, general																									
	Feeding station																									
	Greenhouse operations																									
	Plant nursery																									
	Silviculture (forestry)																									
RESIDENTIAL USES																										
Household Living Uses	Duplex						P				P	P						P	P						P	P
	Duplex subdivision																									
	Live/work unit		P	P								P	P	P	P				P	P	P					5.2.B.3.b
	Mobile/manufactured home	Permitted only in an existing mobile/manufactured home park																								
	Mobile/manufactured home park																									
	Multifamily dwelling	P	P	P		P	P				P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
	Multifamily complex											P						P		P		P	P	P	P	
	Single-family detached dwelling						P	P		P	P	P						P	P						P	P
	Townhouse subdivision						P			P	P	P					P	P				P	P	P	P	5.2.B.3.g
	Upper story dwelling (above nonresidential use)		P	P		P					P			P	P	P					P	P			P	
	Zero lot line subdivision																									
Group Living Uses	Assisted living facility																					P				
	Community residential home	Prohibited																								
	Continuing care retirement community																	P				P				
	Fraternity or sorority house																	S				S		P	S	
	Hospice residential facility																					S				
INSTITUTIONAL USES																										
Communication Uses	Newspaper or magazine publishing																				P					

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P = PERMITTED BY RIGHT S = ALLOWED WITH A SPECIAL USE PERMIT PS = ALLOWED WITH A PUBLIC OR SEMIPUBLIC USE PERMIT BLANK CELL = PROHIBITED USE

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	Radio or television studio													P	P					P						
	Telecommunications facility, collocated on existing structure other than telecommunications tower	P	P	P	P	P			P	P		P	P	P	P	P	P			P	P	P	P	P		
	Telecommunications facility, collocated on existing telecommunications tower	P	P	P	P	P			P	P		P	P	P	P	P	P			P	P	P	P	P	P	5.2.B.5.a, 5.2.B.5.c
	Telecommunications tower, monopole up to 90 feet high	P	P	P	P	P			P	P		P	P	P	P	P	P			P	P	P	P	P	P	5.2.B.5.a, 5.2.B.5.d
	Telecommunications tower, monopole more than 90 but less than 180 feet high	P	P	P	P	P			P	P		P	P	P	P	P	P			P	P	P	P	P	P	5.2.B.5.a, 5.2.B.5.d
	Telecommunications tower, other than above	S	S	S	S	S			S	S			S	S	S					S	S	S	S	S	S	
Community Service Uses	Community center																			PS	S	S	P	PS		
	Library													S	S					PS	S	S	P	PS		
	Museum		P	P									S	S	S					P	PS	S	P	S		
	Senior center																			PS	S	S	P	S		
	Youth center																			PS	S	S	P	S		
Day Care Uses	Adult day care center																					P	P			
	Child care facility													P	P							P	P			5.2.B.7.b
Education Uses	College or university																			PS		P	P			
	Private school with fewer than 20 students																			P	P	P	P	P		
	Private school with 20 or more students																			S	S	P	S	S		5.2.B.8.b
	Public school																			PS		P	PS	PS		
	Vocational or trade school																			P		P				
Health Care Uses	Blood/tissue collection center	Prohibited																								
	Drug or alcohol treatment facility	Prohibited																								

TABLE 5.2.A.3: PRINCIPAL USE TABLE FOR REDEVELOPMENT DISTRICTS

P = PERMITTED BY RIGHT S = ALLOWED WITH A SPECIAL USE PERMIT PS = ALLOWED WITH A PUBLIC OR SEMIPUBLIC USE PERMIT BLANK CELL = PROHIBITED USE

USE CATEGORY	USE TYPE	RDB-1	RDB-2	RDB-3	RDB-4	RDB-5	RDB-6	RDB-7	RDB-8	RDB-9	RDB-10	RDB-11	RDD-1	RDD-2	RDD-3	RDD-4	RDD-5	RDD-6	RDD-7	RDM-1	RDM-2	RDM-3	RDM-4	RDM-5	RDM-6	
Hospital	Hospital																									
	Medical or dental clinic/office												P	P	P		P	P	P	P	P	P	P	P		
	Medical or dental lab												P	P	P		P	P	P	P	P	P	P	P		
	Medical treatment facility	Prohibited																								
	Nursing home facility																									
	Psychiatric treatment facility	Prohibited																								
Open Space Uses	Arboretum or botanical garden																									
	Cemetery			S																						
	Community garden						P				P							P		P	P			P	P	
	Game preserve																									
	Park or greenway	P	P	P	P	P				P	P	P	P								P	P	P	P	P	P
Transportation Uses	Public square or plaza	P	P	P	P	P			P	P			P	P	P	P	P			P	P	P	P	P		
	Aircraft flight instruction																									
	Aircraft fuel sales																									
	Aircraft or aviation equipment sales or rental																									
	Aircraft repair or servicing																									
	Airport																									
	Surface transportation passenger station/terminal						S			S							S									
Utility Uses	Transit operations center																									
	Solar energy collection system (as a principal use)																									
	Utility use, major	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	PS	
Other Institutional Uses	Utility use, minor	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
	Civic center																				P		P	P		
	Club or lodge																				P	P		P	P	
	Congregate meal facility	Prohibited																								
	Homeless shelter or service facility	Prohibited																								
Other Institutional Uses	Place of worship						P					P		P	P		P							P	P	

TABLE 5.2.A.3: PRINCIPAL USE TABLE FOR REDEVELOPMENT DISTRICTS

P = PERMITTED BY RIGHT S = ALLOWED WITH A SPECIAL USE PERMIT PS = ALLOWED WITH A PUBLIC OR SEMIPUBLIC USE PERMIT BLANK CELL = PROHIBITED USE

USE CATEGORY	USE TYPE	RDB-1	RDB-2	RDB-3	RDB-4	RDB-5	RDB-6	RDB-7	RDB-8	RDB-9	RDB-10	RDB-11	RDD-1	RDD-2	RDD-3	RDD-4	RDD-5	RDD-6	RDD-7	RDM-1	RDM-2	RDM-3	RDM-4	RDM-5	RDM-6	
	Shelter for victims of domestic abuse																									
COMMERCIAL USES																										
Adult Uses	Adult bookstore	Prohibited																								
	Adult theater	Prohibited																								
Animal Care Uses	Animal grooming												P	P	P					P	P	P	P	P	P	
	Animal shelter																			P						
	Kennel																			P						
	Veterinary hospital or clinic																			P			P			
Boat and Marine Sales and Service Uses	Boat dry storage facility															P			P							
	Boat or marine parts sales and installation			P						P						P			P							
	Boat or marine repair and servicing			P						P						P			P							5.2.B.16.a
	Boat or marine sales or rental			P						P						P			P							5.2.B.16.b
	Boat towing service																		P							
	Docking facility, commercial																		P							5.2.B.16.c
	Docking facility, commercial passenger boat				S						S						S		P							5.2.B.16.d
	Docking facility, recreational boat				P						P						P		P							
	Marina				P						P						P		P							5.2.B.16.e
Yacht club				P						P						P		P								
Business Support Service Uses	Business service center	P	P	P	P	P			P	P			P	P	P	P	P	P	P	P	P	P	P	P		
	Conference or training center	P			P	P			P	P				P	P	P			P		P		P	P		
	Day labor service	Prohibited																								
	Employment agency														P			P	P	P		P	P	P		
	Parcel services	P	P	P		P			P						P	P	P	P		P	P	P	P	P	P	
	Telephone call center														P	P				P						
Travel agency	P	P	P	P	P			P	P				P	P	P		P		P	P	P	P	P	P		
Eating and Drinking Establishments	Bar or lounge	P							P	P																
	Bottle club																									
	Boutique bar												P								P	P				
	Brewpub	P	P	P	P	P			P	P										P	P					
	Nightclub																									
Restaurant with drive-in service																										

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USE CATEGORY	USE TYPE	RDB-1	RDB-2	RDB-3	RDB-4	RDB-5	RDB-6	RDB-7	RDB-8	RDB-9	RDB-10	RDB-11	RDD-1	RDD-2	RDD-3	RDD-4	RDD-5	RDD-6	RDD-7	RDM-1	RDM-2	RDM-3	RDM-4	RDM-5	RDM-6		
	Restaurant with drive-through service														P							P				5.2.B.18.b.iii	
	Restaurant without drive-in or drive-through service	P	P	P	P	P			P	P			P	P	P	P			P		P	P	P	P	P	5.2.B.18.d	
	Specialty eating or drinking establishment	P	P	P	P	P			P	P			P	P	P	P				P	P	P	P	P	P	5.2.B.18.e	
Motor Vehicle Sales and Service Uses	Automotive parts sales and installation	Prohibited													P						P			P			
	Automotive wrecker service																										
	Car wash or auto detailing			P												P							P			5.2.B.19.b	
	Fleet service repair																										
	Gas station			P												P						P	P	P	P	5.2.B.19.d	
	Parking deck or garage (as principal use)	P	P	P		P			P	P					P	P					P	P	P	P	P	5.2.B.19.e	
	Parking lot (as principal use)	P	P	P		P			P	P					P	P					P	P	P	P		5.2.B.19.f	
	Sales or rental of heavy vehicles, heavy recreation vehicles, and trailers																										
	Sales or rental of light vehicles and light recreation vehicles		P	P																				P			5.2.B.19.g
	Taxi or limousine service facility																							P			5.2.B.19.h
	Tire sales and mounting			P												P								P			5.2.B.19.i
Vehicle repair and servicing			P												P	P							P			5.2.B.19.j	
Office Uses	Business services offices	P	P	P		P			P	P			P	P	P	P	P	P	P	P	P	P	P	P	P		
	Contractor's office																						P				
	Professional services offices	P	P	P		P	P		P	P		P	P	P	P	P	P	P	P	P	P	P	P	P	P		
	Other office facility		P	P		P			P	P		P	P	P	P	P	P	P	P	P	P	P	P	P	P		
Recreation/Entertain-	Arena or stadium								P															P		5.2.B.21.a	
	Auditorium or theater								P													P		P			

TABLE 5.2.A.3: PRINCIPAL USE TABLE FOR REDEVELOPMENT DISTRICTS

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USE CATEGORY	USE TYPE	RDB-1	RDB-2	RDB-3	RDB-4	RDB-5	RDB-6	RDB-7	RDB-8	RDB-9	RDB-10	RDB-11	RDD-1	RDD-2	RDD-3	RDD-4	RDD-5	RDD-6	RDD-7	RDM-1	RDM-2	RDM-3	RDM-4	RDM-5	RDM-6			
Recreation and Entertainment Uses	Bingo hall																									5.2.B.21.b		
	Cinema	P							P				P								P	P					5.2.B.21.c	
	Country club																											
	Dog track																											
	Entertainment and amusement center	P			P				P														P					
	Golf course																											
	Golf driving range																											
	Miniature golf course																											
	Marine mammal park																											
	Outdoor facility for field sports, swimming, or court games	S PS			S PS				S PS																P			5.2.B.21.f
	Pari-mutuel betting facility																											
	Pier, ocean				P																							
	Racetrack																											
	Sport shooting and training range																											
	Other indoor recreation/entertainment use	P			P				P															P			5.2.B.21.i	
Other outdoor recreation/entertainment use	P			P				P															P					
Retail Sales and Service Uses	Antique store		P	P									P	P						P	P	P		P			5.2.B.22.a	
	Art gallery	P	P	P	P	P			P	P			P	P					P	P	P	P		P			5.2.B.22.a	
	Art, crafts, music, dance, photography, or martial arts studio/school												P	P			P	P	P	P	P	P	P	P	P		5.2.B.22.a	
	Bank or financial institution with drive-through service															P				P			P				5.2.B.22.a 5.2.B.22.b	
	Bank or financial institution without drive-through service	P	P	P										P	P	P	P		P	P	P	P		P			5.2.B.22.a 5.2.B.22.c	
	Body piercing establishment	Prohibited																										
	Book or media shop	P	P	P	P	P			P	P			P	P						P	P	P	P	P	P		5.2.B.22.a	
	Check cashing service																											5.2.B.22.a

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	Cigar lounge		P	P		P							P							P	P					5.2.B. 22.a 5.2.B. 22.e	
	Convenience store	P	P	P	P	P			P	P				P	P	P			P			P				5.2.B.22.a 5.2.B.22.d	
	Crematory																										
	Drug store or pharmacy with drive-through service														P							P				5.2.B.22.a 5.2.B.22.g	
	Drug store or pharmacy without drive-through service	P	P	P		P			P	P			P	P		P					P	P	P		<u>P</u>	5.2.B.22.a	
	Dry cleaning or laundry drop-off establishment	P	P	P		P			P	P				P	P	P				P	<u>P</u>	P	P	<u>P</u>	P	5.2.B.22.a	
	Dry cleaning or laundry establishment			P											P					P			P			5.2.B.22.a 5.2.B.22.h	
	Florist shop	P	P	P		P			P	P			P	P							P	P	P	<u>P</u>	<u>P</u>	5.2.B.22.a	
	Funeral home or mortuary																			<u>P</u>		P	<u>P</u>	<u>P</u>		5.2.B.22.a 5.2.B.22.i	
	Gift shop or stationery store	P	P	P	P	P			P	P			P	P							P	P	P	<u>P</u>	<u>P</u>	5.2.B.22.a	
	Grocery store									P						P					<u>P</u>	P	P		<u>P</u>	5.2.B.22.a	
	Home and building supply center																		P			P					
	Jewelry store	P	P	P	P	P			P	P			P	P							P	P	P		<u>P</u>	5.2.B.22.a	
	Laundromat	P							P	P				P		P					P	P	P	P	P	5.2.B.22.a	
	Large retail sales establishment																						P			5.2.B.22.a	
	Lawn care, pool, or pest control service																			P			P			5.2.B.22.a	
	Liquor or package store	P							P	P			P													5.2.B.22.a	
	Meat, poultry, or seafood market												P	P							P	P	P		<u>P</u>		
	Pawn shop	Prohibited																									
	Personal and household goods repair establishment													P							<u>P</u>	P	P		<u>P</u>	5.2.B.22.a	
	Personal services establishment	P	P	P		P			P	P			P	P							P	P	P		<u>P</u>	5.2.B.22.a	
	Secondhand retail shop	Prohibited																									
	Shopping center													P									P			5.2.B.22.a 5.2.B.22.j	

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	Tattoo establishment																									5.2.B.22.a		
	Other retail sales establishment	P	P	P	P	P			P	P			P	P							P	P	P		P	5.2.B.22.a		
Self-Service Storage Uses	Self-storage or mini-warehouse facility																		P							5.2.B.23.a		
Visitor Accommodation Uses	Bed and breakfast inn																	P								5.2.B.24.a		
	Hotel or motel	P	P	P	P	P			P	P			P	P		P	P				P		P			5.2.B.24.b		
	Recreational vehicle park																										5.2.B.24.c	
	Other accommodations ¹	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	5.2.B.24.d		
INDUSTRIAL USES																												
Industrial Services Uses	Building, heating, plumbing, or electrical contractor's storage yard																										5.2.B.25.a	
	Carpet cleaning or dyeing facility																											
	Educational, scientific, or industrial research and development														P	P					P		P					
	Electric motor repair, machine shop, or tool repair shop																									P	5.2.B. 25.b	
	Fuel oil or bottled gas distribution																											
	Fuel oil storage																											
	General industrial services																									P		
	Heavy construction establishment																											
	Heavy equipment repair and servicing																											5.2.B.25.c
	Heavy equipment sales, rental, or storage																											5.2.B.25.d
Laundry or dry cleaning facility																											5.2.B.25.e	
Leather-working or upholstery establishment																												

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	Metal-working, welding, plumbing, or gas, steam, or water pipe fitting																			P							
	Motion picture studio																				P						
	Paving operations																										
	Printing or other similar reproduction facility																				P						
	Repair of scientific or professional instruments																				P						
	Woodworking																				P						
Manufacturing and Production Uses	Asphalt plant																										
	Bakery																										
	Boat manufacturing																										
	Bottling plant																										
	Brewery, winery, or distillery																				P		P				5.2.B.26.a
	Cabinet or furniture manufacturing																				P						
	Cement concrete batching plant																										5.2.B.26.b
	Cement concrete or brick products manufacturing																										5.2.B.26.b
	Craft distillery																				P		P				5.2.B.26.a
	Fish hatchery																										
	Food processing (without slaughtering)																										
	Hydroponic garden facility																										
	Manufacturing, assembly, or fabrication, heavy																										5.2.B.26.c
	Manufacturing, assembly, or fabrication, light																										
Vegetable or fruit packing																											
Warehouse and Freight Movement Uses	Moving and storage facility																										
	Outdoor storage (as a principal use)																									5.2.B.27.a	

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	Truck or freight terminal																									
	Warehouse, distribution																									
	Warehouse, storage																									
Waste-Related Uses	Construction and demolition debris disposal facility																									
	Hazardous waste collection site																									
	Incinerator																									
	Land clearing debris disposal facility																									
	Materials recovery facility																									
	Recovered materials processing facility																									
	Recycling drop-off center																									
	Salvage/recycling facility																									
	Solid waste transfer station																									
	Tire disposal or recycling facility																									
	Waste composting																									
	Waste-to-energy plant																									
	Wholesale Uses	Plant nursery, wholesale																			P					
Showroom, wholesale																				P						
Other wholesale use																				P						

I. The “other accommodations” use includes all uses regulated by the prior LDC as “accommodations” other hotels, motels, rooming houses, bed and breakfast facilities, or RV parks—i.e., “rental units intended to be used by transient persons or tourists for overnight or short-term lodging.” This use thus included and continues to include vacation rentals as defined in F.S. 509.242 and grandfathered from the 2011 amendment to F.S. 509.032(7) that preempts local government regulation of vacation rentals in accordance with the provisions of that statute.

MIDTOWN MASTER PLAN LAND DEVELOPMENT CODE RE-WRITE

PROPOSED ZONING DISTRICTS

1 inch = 350 feet

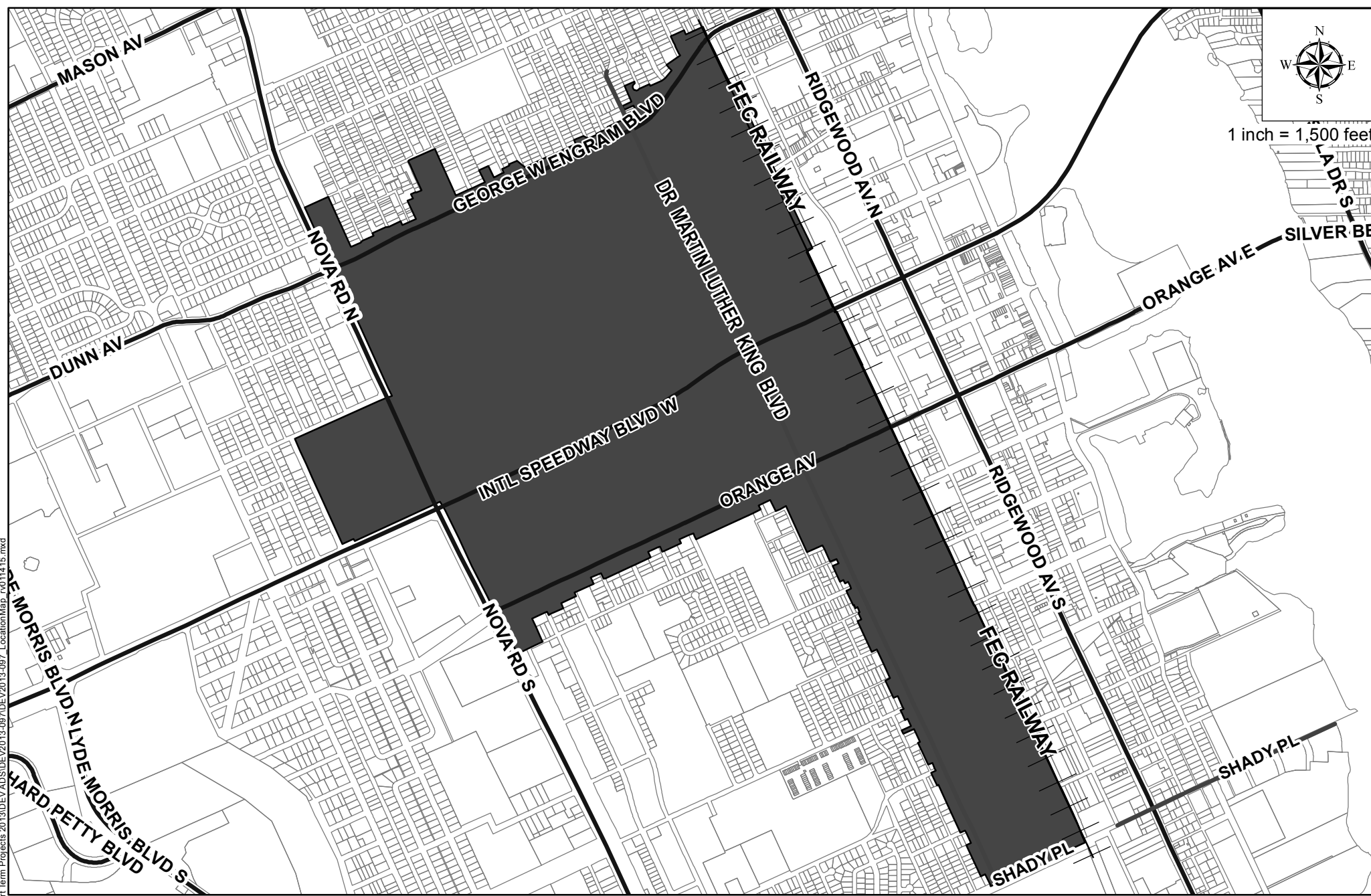


Proposed Zoning

	PD-G		RDM1		RDM3		RDM5
	RDD7		RDM2		RDM4		RDM6



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**ALL PROPERTIES WITHIN
MIDTOWN REDEVELOPMENT AREA ARE AFFECTED**

Midtown Redevelopment Area

City of Daytona Beach Map disclaimer:

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